



MANUFACTURED HOMES PRE JUNE 15, 1976

Per State of Idaho Chapter 25 Sections 44-2501 thru 2504.

TITLE 44
LABOR
CHAPTER 25
MOBILE HOME REHABILITATION

Before a City of Lewiston permit can be issued for the installation of a mobile home built prior to June 15, 1976, the home must meet the rehabilitation requirements specified in Idaho code Title 44 Chapter 25 Sections 44-2501 thru 2504.

“Upon submission of the rehabilitation form required pursuant to section 44-2504, Idaho Code, and any other information required by the administrator to establish compliance with this chapter, the administrator shall issue a certificate of compliance to the homeowner. The certificate of compliance must be presented to the local jurisdiction before a permit for the installation of the home may be issued”.

“Upon receipt of the certificate of compliance, the local jurisdiction shall issue the installation permit in the same manner as the permit would be issued with respect to a mobile/manufactured home for which rehabilitation is not required. No zoning or other ordinance or policy of the local jurisdiction prohibiting relocation or installation of a mobile home to which this chapter applies shall be effective to prohibit the relocation or installation of a mobile home for which a certificate of compliance has been issued in accordance with this chapter”.

If your Manufactured Home is older than June 15, 1976 Please contact State of Idaho Building Safety Division before applying for a permit through the City of Lewiston.

State of Idaho Division of Manufactured Homes:
Rehabilitation Program
Phone: 208-332-7144

Updated 6/15/07



Class A manufactured home: A manufactured home meeting the following standards:

- (1) Constructed after June 15, 1976, and certified as meeting the manufactured home construction and safety standards of the Department of Housing and Urban Development;
- (2) Shall be multisectional and enclose a space of not less than one thousand (1,000) square feet;
- (3) Roof pitch shall be not less than a three-foot rise for each twelve (12) feet of horizontal run (3:12) and roof shall have minimum six-inch eave or eave and gutter;
- (4) Has roofing materials which are generally acceptable for site-built housing. Any roofing material may be used provided it has the appearance of a nonmetallic shingle, shake or tile roof;
- (5) Has siding material which has the appearance of wood, masonry or horizontal metal siding. Reflection from horizontal metal siding shall be no greater than that from siding coated with white gloss enamel;
- (6) The manufactured home shall be placed on an excavated and backfilled foundation and enclosed at the perimeter such that the home is located not more than twelve (12) inches above grade;
- (7) Hitch or tongue of manufactured home shall be removed.



PERMIT APPLICATION
 COMMUNITY DEVELOPMENT DEPARTMENT,
 215 'D' ST, P.O. BOX 617, LEWISTON, ID 83501
 PHONE: (208) 746-1319 EXT. 0 FAX (208) 746-5595

JOB ADDRESS: _____

NAME	MAILING ADDRESS	PHONE	CELL	FAX
BUILDING OWNER				
CONTRACTOR				
TENANT (commercial or MFH in park)				
ARCHITECT/DESIGNER				
ENGINEER				

DESCRIBE WORK: _____

IS THIS WORK IN AN ACCESSORY STRUCTURE? YES OR NO **ESTIMATED PROJECT VALUATION: \$** _____

PROPOSED USE OR TYPE OF BUSINESS: _____

COMMERCIAL PROJECTS ONLY (please provide):				
	LOT OR PARCEL SIZE - SQ FT	TOTAL PARKING AREA - SQ FT	NUMBER OF PARKING SPACES	NUMBER OF EMPLOYEES

IBC TIME LIMITATION OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 180 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Separate permits are required for electrical, plumbing, heating, ventilation or air conditioning and work in the Right-of-Way

PLAN REVIEW FEE DUE AT TIME OF SUBMITTAL. PLAN REVIEW FEE IS NON-REFUNDABLE.

TO PROMOTE SAFE EXCAVATION PLEASE REFER TO STATE OF IDAHO STATUE 55-22 AND CALL 811 BEFORE STARTING WORK

I hereby certify that I have read and examined this application and know the same to be true and correct.

Signature of Owner	Date	Print Name
Signature of Authorized Agent	Date	Print Name
		Project Title (contractor, architect, etc.)

FOR STAFF USE ONLY			
Application Accepted by & Date Received:	Permit Number:	Permit Fee:	\$
Bluebeam Number:		Plan Review Fee:	\$
Plan Review Completed Date:	Approved for Issuance by:	Total Due:	\$



Lewiston Fire Department

1245 Idaho Street, Lewiston, ID 83501

Fire Prevention Division

208.743.3554/ 208.746.3801 Fax

REQUIREMENTS FOR R-3 RESIDENTIAL OCCUPANCIES

Address:	Permit #
Owner:	

"In new construction, or where an attic, crawl space, or exposed interior finish provides access, the smoke alarms shall receive their primary power from the building wiring and shall be equipped with battery backup. Smoke alarms shall emit a signal when the batteries are low wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection." IRC R313.2.1; IFC 907.2.10.2; IFC 907.3.2.3

"In new construction, or where an attic, crawl space, or exposed interior finish provides access, the smoke alarms shall be interconnected so the activation of one alarm will activate all of the alarms. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed." IRC R313.2.1; IFC 907.2.10.3; 907.3.2.2

"Emergency escape and rescue opening shall have a minimum net clear opening of 5.7 square feet. **Exception: The minimum net clear opening for emergency escape and rescue grade-floor openings shall be 5 square feet.** Minimum net clear opening height of 24", minimum net clear opening width 20". Bottom of clear opening shall not be greater than 44" from the floor." IRC R310.1; IFC 1026.2; IFC 1026.3

"Approved numbers and/or letters shall be placed on ALL buildings to be plainly visible from the street, color contrasting to background. Numbers shall be a minimum of 4 inches high with a 1/2 inch stroke". IRC R321.1; IFC 505.1

"Window Well: The clear horizontal dimensions of the window well shall allow the emergency escape and rescue opening to be fully opened and provide a minimum accessible net clear opening of 9 square feet, with a minimum dimension of 36 inches". IRC R310.2; IFC 1026.5

I hereby certify that I have read and understand these requirements; I also understand that the above noted requirements shall be provided prior to final inspection.

Signature: _____

Date: _____



CITY OF LEWISTON RESIDENTIAL SITE PLAN CHECKLIST

A site plan is a detailed drawing of a parcel of land and improvements. Before a building permit can be issued or zoning actions processed, a site plan must be submitted for review, along with the building plans, and must be accurate and show all information needed to review the project.

A complete site plan includes all existing features of the site and all proposed construction.

All site plans must show adjacent streets and property lines.

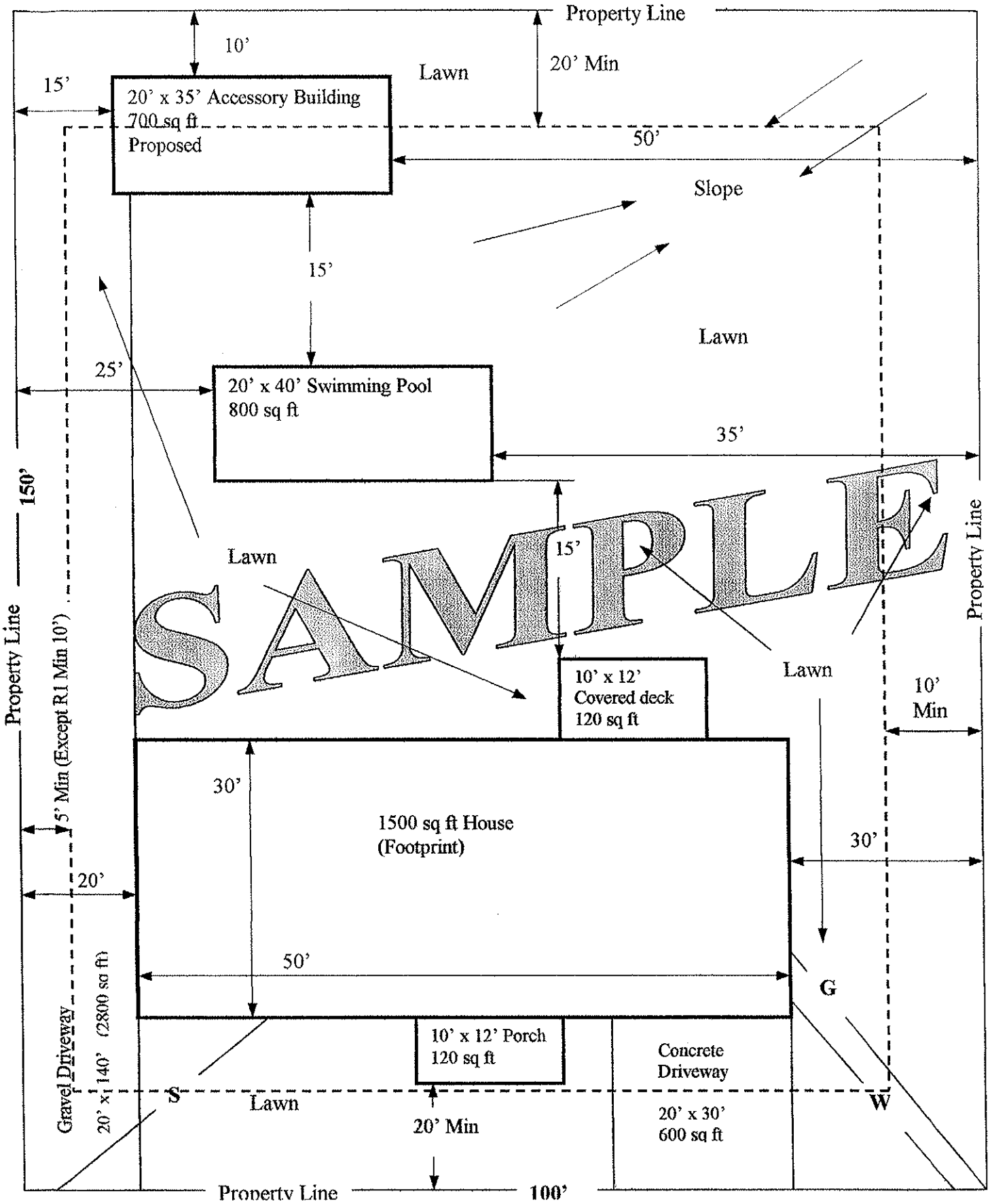
THE OWNER IS RESPONSIBLE FOR DETERMINING THE ACCURATE LOCATION OF PROPERTY LINES. Site plans must have a date, owner's name, and street address of the property. In addition, and significant natural features of the site, such as trees or drainage ways should be shown.

ALL SITE PLAN MUST INCLUDE THE FOLLOWING:

- Date, scale, north arrow, zone, owner and street address
- Property lines (labeled) and dimensions. **THE OWNER IS RESPONSIBLE FOR DETERMINING THE ACCURATE LOCATION OF PROPERTY LINES. PLEASE CONSULT A SURVEYOR OR ENGINEER IF YOU HAVE DOUBTS ABOUT THEIR CORRECT LOCATION.**
- Adjacent streets with names and right of way width.
- Dimensions of sidewalk width and curb cuts, existing and proposed.
- Location, use, and dimensions of existing and proposed structures
- Driveway dimensions and type of material (gravel, asphalt, concrete)
- Any construction in the right of way between property line and edge of street
- Location of electric, water, sewer and gas lines. If you have a septic tank please indicate location of septic tank and drain field and distance to proposed and existing buildings
- Dimensions of private and public easements and their use. **OWNER IS RESPONSIBLE FOR ACCURATE LOCATION OF EASEMENTS.**
- Natural drainage draws, ditches, mature trees or other natural features to be preserved
- Building setbacks from property lines.
- Fence location and height
- Distance between buildings
- Existing and proposed contours
- Locations and size of drywells, culverts and swales
- Surface drainage directions
- Layout of required parking
- Location, dimensions and material of retaining walls, if applicable
- ALL IMPERVIOUS SURFACES**, including driveways, sidewalks, patios, dog runs, graveled areas with dimensions etc.
- Fire access roads if applicable. Information to include: Length, width, surface type and location of fire access road signs.

If you have any questions, please call the permit center staff at (208) 746-1319 and we can answer your questions prior to submittal of the plan.

Name
Address



SAMPLE

Curb, Gutter or Sidewalk?

Street Name or Number

Not to Scale

line. A four inch by six inch (4" x 6") nominal size post shall be placed in this pony wall at all ridge beam support locations identified by the manufacturer. All wood shall have a structural rating equal to, or greater than, #2 SPF.

(g) Ridge beam column supports may be considered to be rim joist supports as long as the maximum allowable spacing between supports is not exceeded.

04. Height of Installation. No more than twenty-five percent (25%) of the main frame pier supports of a manufactured home shall exceed thirty-six inches (36") in height without prior approval of the local authority having jurisdiction, unless it is set on a basement. See **Section 504.03**. Pier heights shall be measured from the top of the footing to the bottom of the frame. See **Figure 502.5**. Maximum pier height shall not exceed eighty inches (80").

504. PERMANENT FOUNDATIONS.

01. Permanent Foundation. A Permanent Foundation is a perimeter supporting foundation wall which is constructed of concrete, concrete block, or pressure treated wood, on a concrete footing placed below the locally established frost depth. See **Figure 301.2**. This permanent foundation is used in conjunction with main frame and marriage line supports required in **Section 503**. Manufactured homes must be permanently affixed to a foundation to qualify as real property for tax and financing purposes.

a. **Concrete Foundation.** A poured in place perimeter concrete foundation shall comply with the requirements prescribed in the following Subsections. See **Figures 504.1A, 504.2A, and 504.2B**.

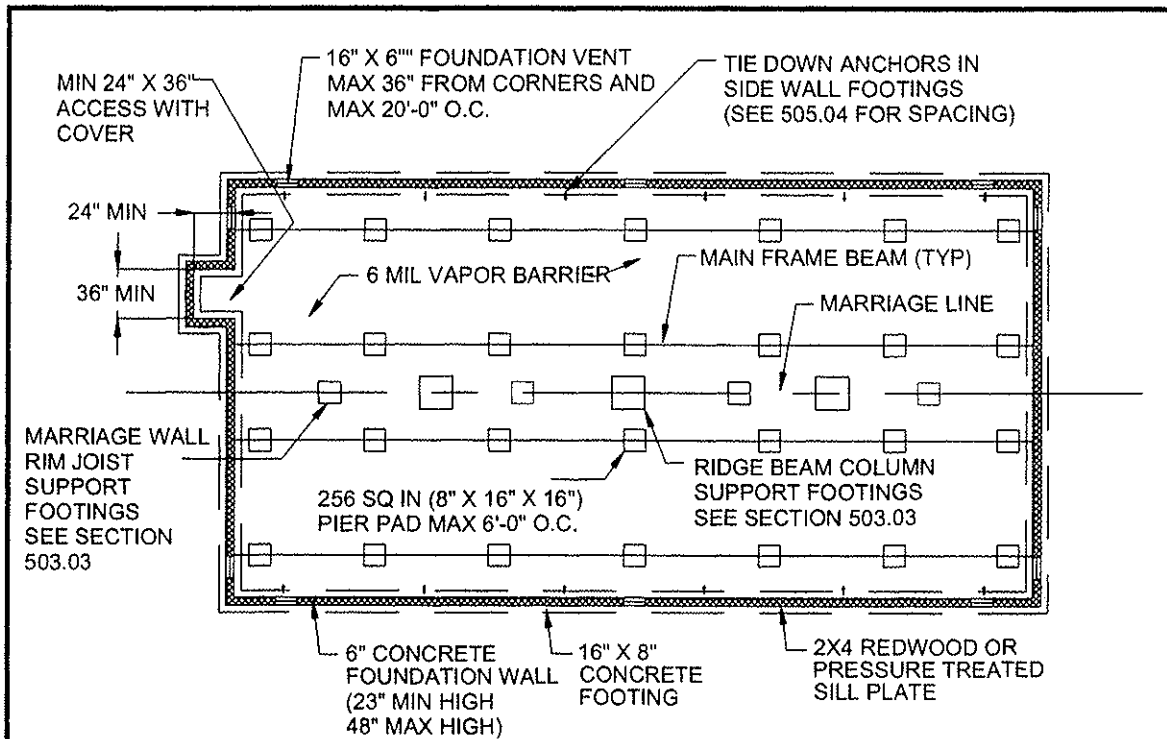
(1) **Footings.** The foundation footings shall be a minimum eight inches (8") thick by sixteen inches (16") wide of continuous poured concrete with two horizontal three-eighths inch diameter (#3) reinforcing bar.

(2) **Stem Walls.** The foundation stem wall shall be a minimum six inches (6") thick by twenty-three inches (23") high poured concrete with one horizontal three-eighths inch diameter (#3) reinforcing bar per eighteen inches (18") of height. Maximum stem wall height shall not exceed forty-eight inches (48") for over twenty-five percent (25%) of the home unless the home is installed on a basement wall as defined in **Subsection 504.03**, or the design is approved by the local authority having jurisdiction. All stem walls over thirty inches (30") in height shall have vertical three-eighths inch diameter (#3) reinforcing bar, thirty-two inches (32") on center, to tie the footing and wall together.

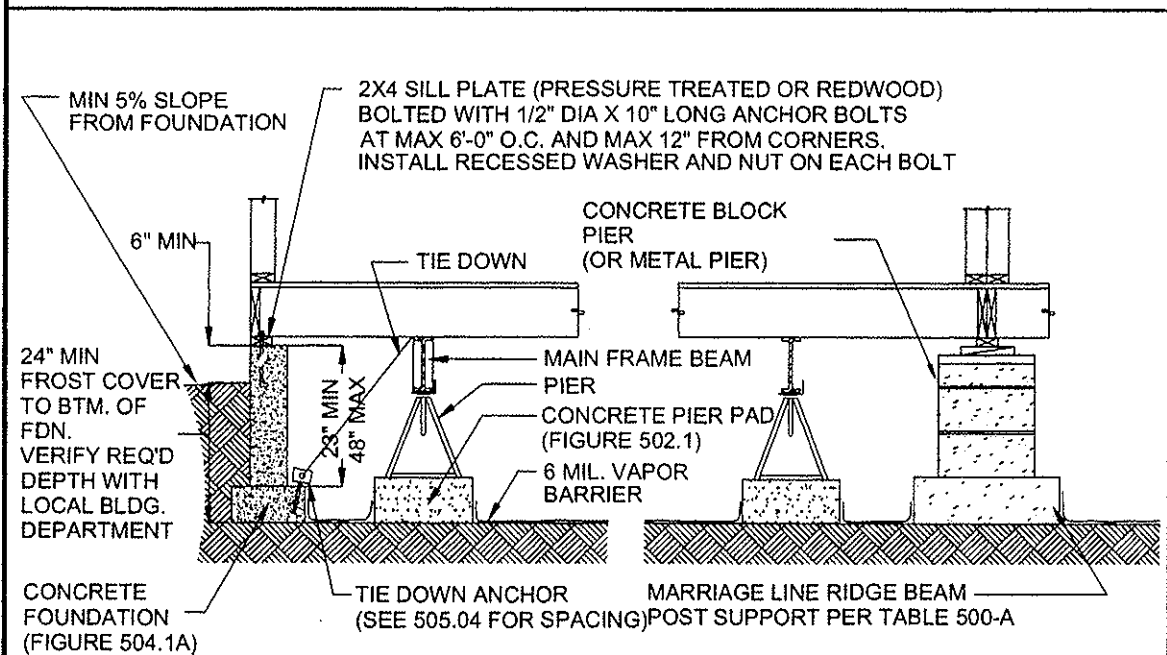
(3) **Sill Plate.** The stem wall shall have a sill plate of two inch by four inch (2" x 4") nominal size foundation grade redwood or pressure treated lumber attached with one-half inch by ten inch (1/2" x 10") anchor bolts six feet (6') on center and within twelve inches (12") of each corner.

b. **Block Foundation.** A concrete block wall foundation shall comply with the requirements prescribed in the following Subsections. See **Figure 504.1B**.

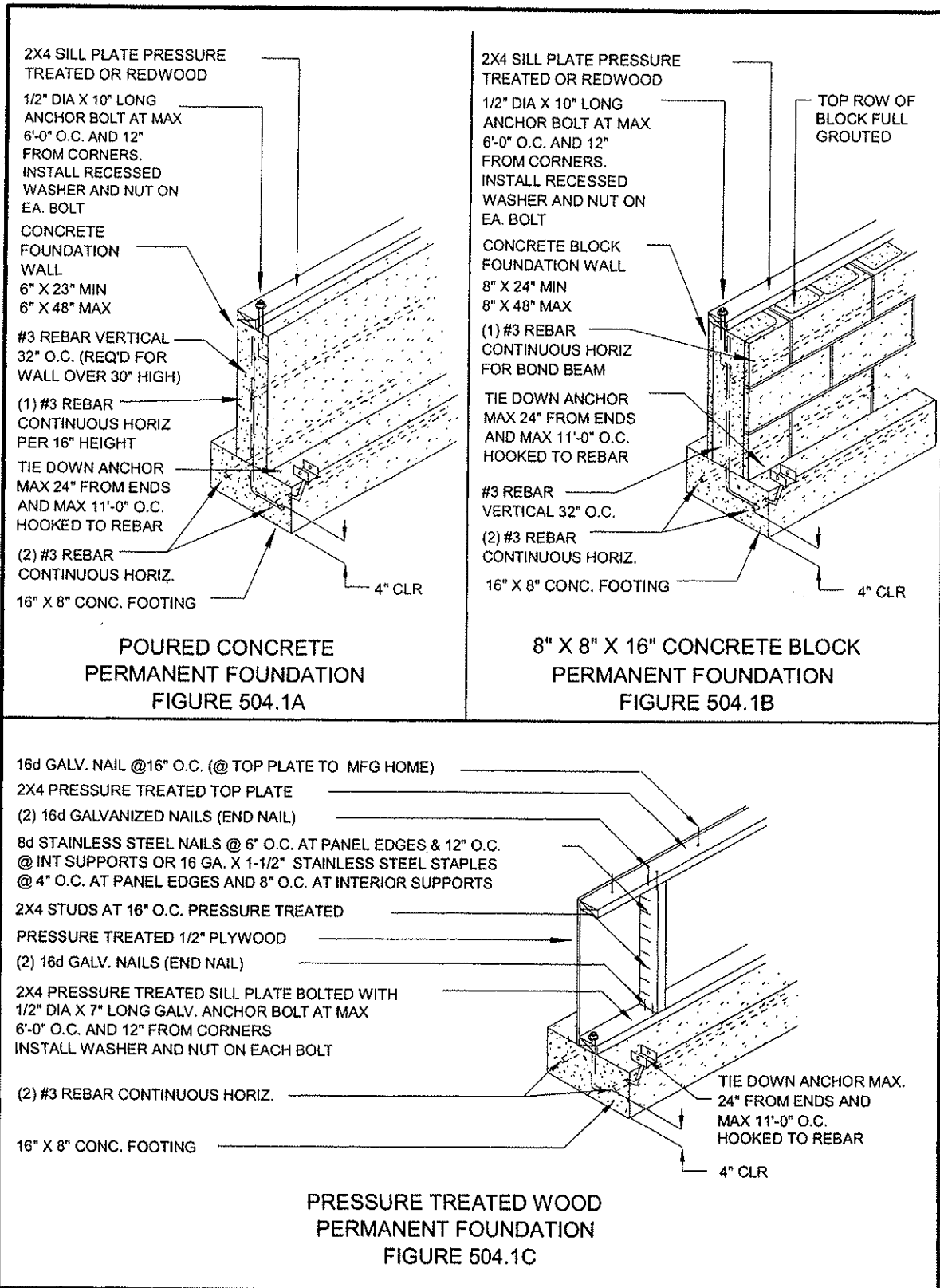
(1) **Footings.** The footings for a concrete block foundation shall be a minimum eight inches (8") thick by sixteen inches (16") wide continuous poured concrete with two horizontal three-eighths inch diameter (#3)



CONCRETE FOUNDATION PLAN
FIGURE 504.2A



SECTION THROUGH CONCRETE FOUNDATION
FIGURE 504.2B



03. **Ties.** All tie strapping shall be fastened to anchors and drawn tight with adjustable tensioning devices supplied with the anchor.

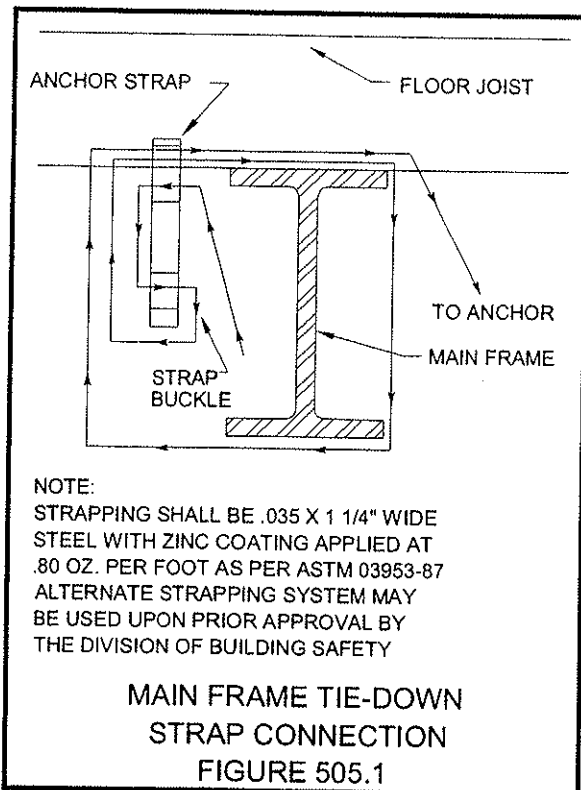
a. Tie strapping shall be certified and listed to be capable of resisting an allowable working load of three thousand one hundred-fifty pounds (3,150 lbs) with no more than two percent (2%) elongation and shall withstand a fifty percent (50%) overload.

b. Ties shall connect the anchor to the main frame I-beams which run lengthwise under the manufactured home. Ties shall not connect to steel outrigger or cross member beams which fasten to, and intersect with, the main frame I-beams.

c. Tie materials shall be designed to prevent self-disconnection when ties are slack. Open hook ends shall not be used in any part of the anchoring system. See **Figure 505.1**

04. **Spacing.** Unless otherwise specified in the anchoring equipment manufacturer's installation instructions, anchors shall be placed in the sidewall footing within two feet (2') from each corner and spaced as follows: (Also see **Figure 504.2A**, **504.2B** and **Section 505**.) Eleven feet (11') maximum on center for homes up to eighteen feet (18') in height (maximum ground to roof peak) in a seventy mile per hour (70 mph) wind zone, or up to fourteen feet (14') in height for an eighty mile per hour (80 mph) wind zone. For homes from fourteen feet (14') to eighteen feet (18') in height in an eighty mile per hour (80 mph) wind zone, space anchors eight feet (8') maximum on center.

05. **Certification.** Anchoring equipment is certified when tested, listed, and labeled by a nationally recognized testing and listing laboratory, or designed by a Idaho Licensed Professional Engineer and approved by the



Division of Building Safety and the Manufactured Home Installation Committee.

06. **Alternate anchoring systems.** Alternate anchoring systems may be used when approved by the Division and the Manufactured Home Installation Committee.

506. -- 599. RESERVED.