



# Building Guide

City of Lewiston, Community Development Department

## Pole Barn Construction

### How to Use this Guide

Provide one set of plans or one electronic file (preferred) and complete the following:

- 1. Complete this Building Guide** by filling in the blanks on all pages, and indicating which construction details will be used.
- 2. Provide 1 Plot Plan** (site plan) showing dimensions of your project or addition and its relationship to existing buildings or structures on the property and the distance to existing property lines drawn to scale.
- 3. Fill out a Building Permit Application.**

The majority of permit applications are processed with little delay. The submitted documents will help determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.

The City of Lewiston, Community Development Department is a professional organization seeking to promote the public health, safety and welfare to building construction. We appreciate your feedback and suggestions. To obtain a master copy of this building guide, please write to the City of Lewiston, Community Development Department, P.O. Box 617, Lewiston, ID, 83501.

<http://www.cityoflewiston.org>



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## Plan Requirements

Provide all of the details listed below on your plans. One complete set of plans and one site plans must be submitted at time of application.

## Floor Plan

1. Provide plan view of pole location, spacing, dimensions of the building.
2. Framing plan should show direction, size, and spacing of roof system, purlins, girts, beams and header sizes.
3. Indicate the locations of all window and door openings.
4. Indicate the locations of the poles, and provide dimensions between the poles.
5. Maximum width is 32', max length 40', maintaining at least a 5:3 length to width ratio.

## Section Elevation

1. Front, rear and both side views to scale (identify scale).
2. Finished grade line at building.
3. Label the depths to the bottom of the poles. Note that piers must be at least 48 inches in depth, or the plan must be engineered.
4. Label the pole size and type of material. Wood poles embedded in earth must be treated wood, labeled for ground contact.
5. Label the sidewall girt size, type of material, and spacing. Note that the bottom girt must be treated wood if located within 6 inches of grade.
6. Label the beam size and type of material above the poles. Detail the method of fastening the beam to the poles.

7. Label the rafter size and spacing. (if engineered trusses are to be used, you may indicate this instead).

8. Label the rafter tie (or ceiling joist) size and spacing. (Not required for engineered trusses).

9. Label the roof purlin size and spacing, if applicable.

10. Label exterior wall finish material.

11. Label the roof covering material.

## Inspections Required

1. Plans and permits need to be on-site at time of all inspections.
2. Setback and Hole Inspection: After holes are dug but before concrete pads are poured.
3. Framing Inspection: Requested after building is up and before any insulation or interior covering is installed. May be final also if no further work is being done.
4. Final Inspection: Requested after all work is completed, such as insulation, concrete slab, electrical, plumbing, heating, and/or sheetrock.
5. Additional inspections may be required by local jurisdictions.

Where allowed by the Jurisdiction, this pole barn guide may be used without the need for any additional engineering, where all of the following comply:

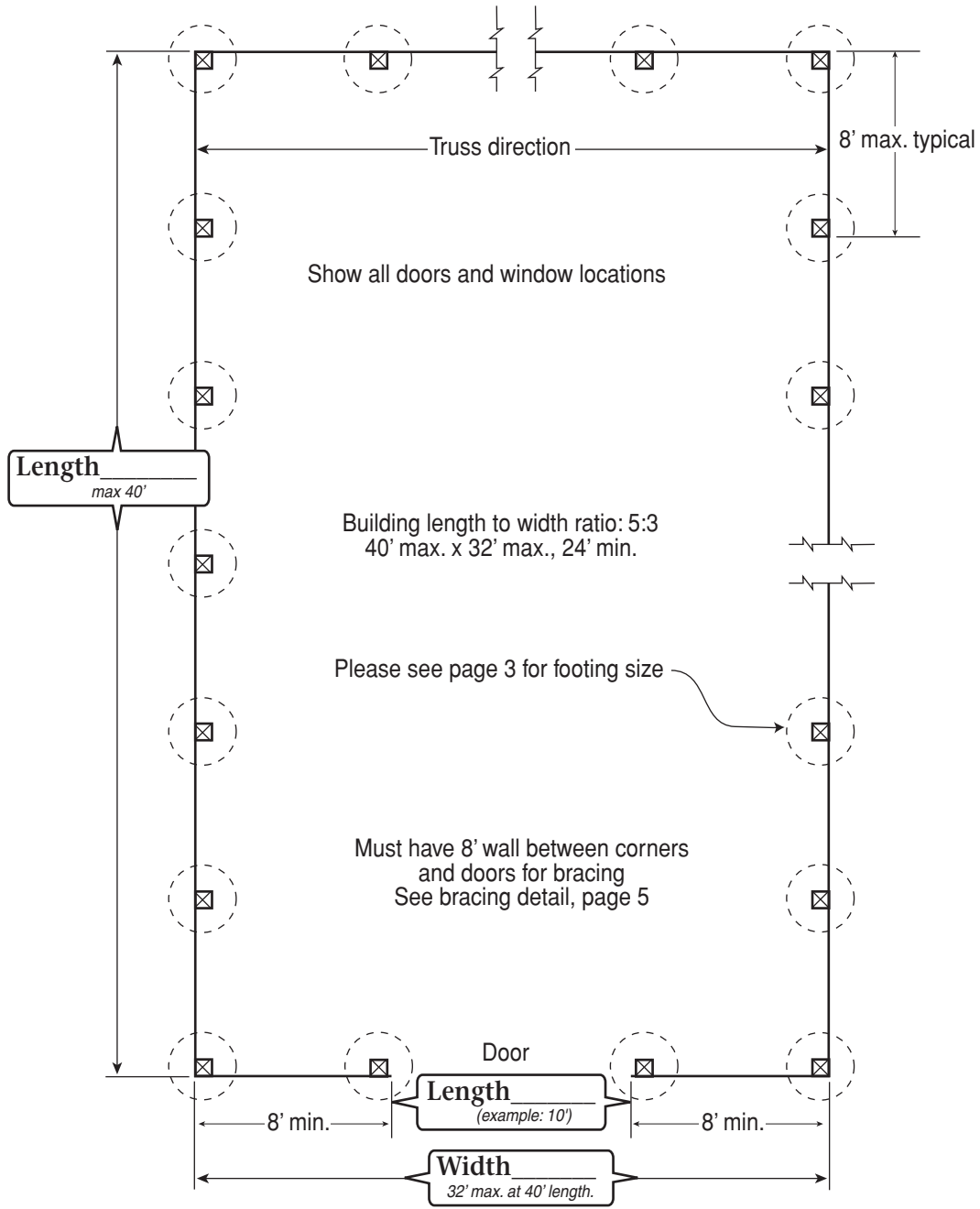
- The barn is no larger than 40' L x 36' W x 12' H side walls
- Rectangular shaped barns must maintain a minimum 5:3 ratio
- The Jurisdictional requirements and barn location do not exceed the pole barn guides 30 PSF (snow) live load or 90 MPH design parameters

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## Floor plan

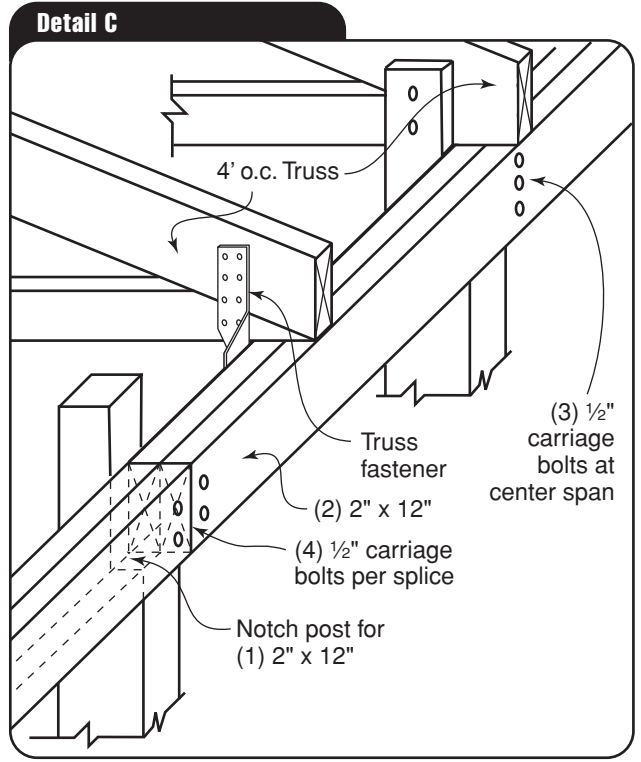
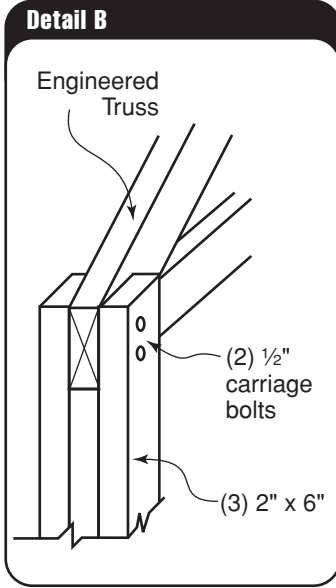
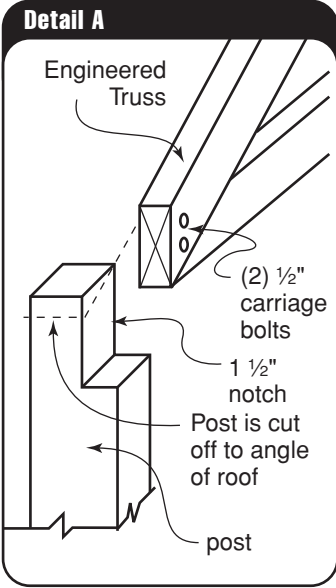
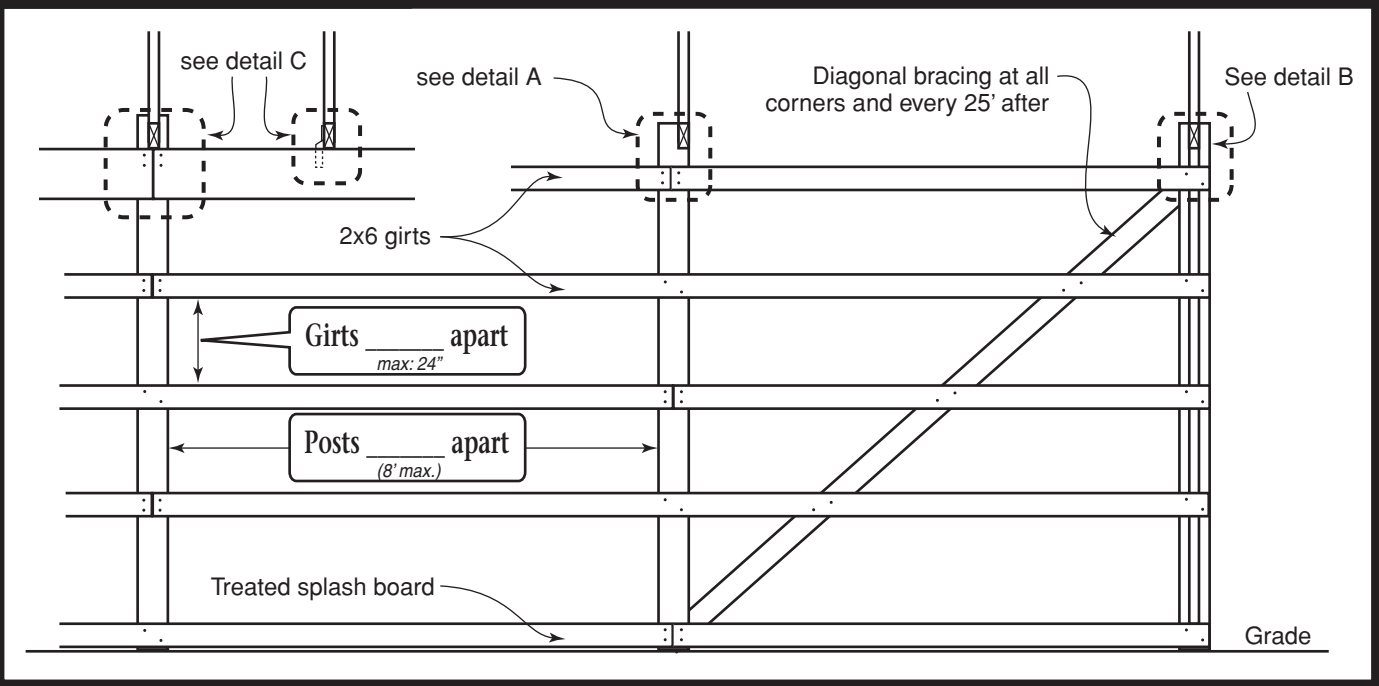


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## Side Elevation



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# PERMIT APPLICATION

COMMUNITY DEVELOPMENT DEPARTMENT,  
215 'D' ST, P.O. BOX 617, LEWISTON, ID 83501  
PHONE: (208) 746-1319 EXT. 0 FAX (208) 746-5595

<b>LEGAL DESCRIPTION</b> (New Construction Only)			
LOT:	BLOCK:	TRACT:	PARCEL #:

**JOB ADDRESS:** \_\_\_\_\_

NAME	MAILING ADDRESS	PHONE	CELL	FAX
BUILDING OWNER				
CONTRACTOR				
TENANT (commercial or MFH in park)				
ARCHITECT/DESIGNER				
ENGINEER				

**DESCRIBE WORK:**

Is this work in an accessory structure? \_\_\_\_\_

Yes OR No \_\_\_\_\_

**ESTIMATED PROJECT VALUATION:** \_\_\_\_\_ **DO YOU HAVE A SEPTIC SYSTEM?** \_\_\_\_\_

**SITE FORMERLY USED AS/OR FORMER BUSINESS NAME:** \_\_\_\_\_

**PROPOSED USE OR TYPE OF BUSINESS:** \_\_\_\_\_

<b>COMMERCIAL PROJECTS ONLY (please provide):</b>			
	LOT OR PARCEL SIZE - SQ FT	TOTAL PARKING AREA - SQ FT	NUMBER OF PARKING SPACES
			NUMBER OF EMPLOYEES

**R105.3.2 IRC & IBC 2009 TIME LIMITATION OF APPLICATION:** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 180 days each. The extension shall be requested in writing and justifiable cause demonstrated.

*Separate permits are required for electrical, plumbing, heating, ventilation or air conditioning and work in the Right-of-Way*

**PLAN REVIEW FEE DUE AT TIME OF SUBMITTAL. PLAN REVIEW FEE IS NON-REFUNDABLE.**

I hereby certify that I have read and examined this application and know the same to be true and correct.

Signature of <b>Owner</b>	Date	Print Name
Signature of <b>Authorized Agent</b>	Date	Print Name
		Project Title (contractor, architect, etc.)

FOR STAFF USE ONLY			
Date Application Received:	Application Accepted by:	Permit Number:	
Staff Valuation:			
Special Conditions:			
# of Dwelling Units:	Sprinkler System Required?	Applicable Code Reviewed Under:	
# of Stories:			
Size of Building: existing - new -	Type of Construction:	<b>PERMIT FEE</b>	\$
	Occupancy Group:	<b>PLAN REVIEW FEE</b>	\$
	Max. Occupant Load:	<b>EQUITY BUY INS</b>	\$
TOTAL Building sq. ft.:	Plan Review Completed Date:	Approved for Issuance by:	<b>OTHER FEES</b>
			<b>TOTAL DUE</b>
			\$