

CITY OF LEWISTON

RESIDENTIAL SITE PLAN CHECKLIST

A site plan is a detailed drawing of a parcel of land and improvements. Before a building permit can be issued or zoning actions processed, a site plan must be submitted for review, along with the building plans, and must be accurate and show all information needed to review the project.

A complete site plan includes all existing features of the site and all proposed construction. All site plans must show adjacent streets and property lines.

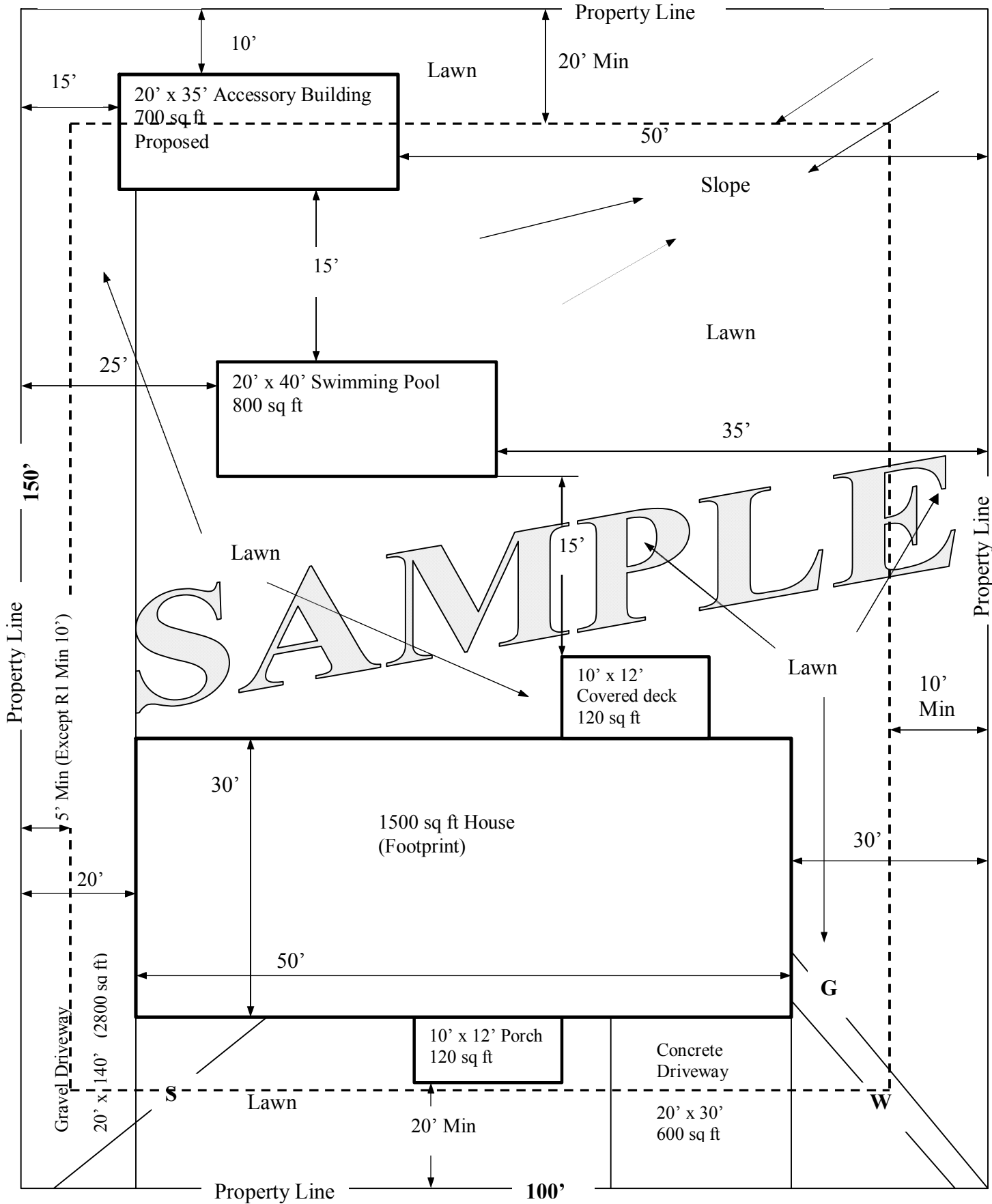
THE OWNER IS RESPONSIBLE FOR DETERMINING THE ACCURATE LOCATION OF PROPERTY LINES. Site plans must have a date, owner's name, and street address of the property. In addition, and significant natural features of the site, such as trees or drainage ways should be shown.

ALL SITE PLAN MUST INCLUDE THE FOLLOWING:

- Date, scale, north arrow, zone, owner and street address
- Property lines (labeled) and dimensions. THE OWNER IS RESPONSIBLE FOR DETERMINING THE ACCURATE LOCATION OF PROPERTY LINES. PLEASE CONSULT A SURVEYOR OR ENGINEER IF YOU HAVE DOUBTS ABOUT THEIR CORRECT LOCATION.
- Adjacent streets with names and right of way width.
- Dimensions of sidewalk width and curb cuts, existing and proposed.
- Location, use, and dimensions of existing and proposed structures
- Driveway dimensions and type of material (gravel, asphalt, concrete)
- Any construction in the right of way between property line and edge of street
- Location of electric, water, sewer and gas lines. If you have a septic tank please indicate location of septic tank and drain field and distance to proposed and existing buildings
- Dimensions of private and public easements and their use. OWNER IS RESPONSIBLE FOR ACCURATE LOCATION OF EASEMENTS.
- Natural drainage draws, ditches, mature trees or other natural features to be preserved
- Building setbacks from property lines.
- Fence location and height
- Distance between buildings
- Existing and proposed contours
- Locations and size of drywells, culverts and swales
- Surface drainage directions
- Layout of required parking
- Location, dimensions and material of retaining walls, if applicable
- ALL IMPERVIOUS SURFACES, including driveways, sidewalks, patios, dog runs, graveled areas with dimensions etc. Also include natural areas i.e. grass, field, pasture, landscape.
- Fire access roads if applicable. Information to include: Length, width, surface type and location of fire access road signs.

If you have any questions, please call the permit center staff at (208) 746-1319 and we can answer your questions prior to submittal of the plan.

Name
Address



SAMPLE

Curb, Gutter or Sidewalk? Street Name or Number

Not to Scale

Updated December 2006